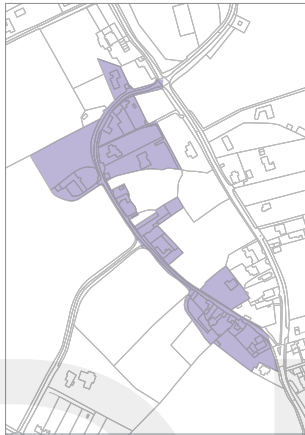




## 4. CHAPEL LANE

A narrow lane with denser arrangement of dwellings at each end and a farm set amidst green open space in the middle. The buildings are generally small scale and set close to the street.



### Defining Features

- Small, historic cottages in traditional materials set on or close to the street at the south end. Predominantly modern bungalows set further off the street at the north end.
- The assemblage of buildings forming Primrose Farm and Double House. These are prominent at the junction with the bridleway of Sandy Lane.
- Enclosed, narrow lane with high hedges and some mature trees.
- Lane slopes up and curves, curtailing views along its length.

### Key Issues

- Flint walls not being maintained as indicated by extensive moss growth, and failure of some areas of walling.
- Ivy growth on flint walls.
- Ivy growth on trees.
- Informal car parking areas along the side of the street.
- Windows being replaced with uPVC windows.
- Prominent solar panels.

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## Recommendations and Opportunities for Enhancement

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Note that these issues are ones specific to this area. The general recommendations within the Management Plan also apply.

- Careful removal of the ivy and moss from the flint walls and necessary subsequent repairs.
- Removal of solar panels.
- Replacement of uPVC windows with traditional timber windows.
- Brickwork repairs to Double House.
- Removal of inappropriate mortar repairs to flint walls and careful correct repairs using lime mortar.

## Listed Buildings

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None

## Proposed Locally Listed Buildings

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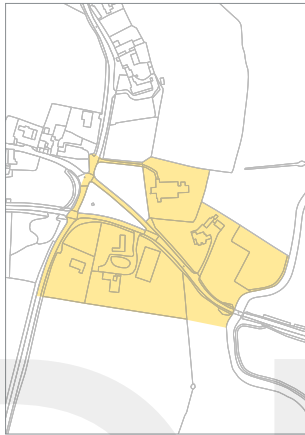
- Church Barn
- Primrose Farm
- Double House
- White House
- Myrtle Cottage
- Rose Cottage

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## 5. BRIDGEFOOT LANE

Defining the village green and encompassing the medieval church, this area represents the centre of the village. The lane is narrow but comparatively open with two substantial red brick dwellings between the green and the scheduled medieval bridge.



### Defining Features

- Undulating lane that defines the two main areas of the village green and connects the green with the medieval bridge.
- Mature trees to the south but a relatively open aspect otherwise.
- Churchyard around the church has a number of fine gravestones, some of which are listed.
- Two substantial houses, the Old Rectory and Stonebridge House, form important gateway buildings on the approach to the village from the south-east.
- Attractive views to Cley from the churchyard and along the river valley floor from the bridge.

### Key Issues

- Open access and gravel area to the south of East Barn.
- Prominent electricity poles and cable.

### Recommendations and Opportunities for Enhancement

Note that these issues are ones specific to this area. The general recommendations within the Management Plan also apply.

- Reinstatement of gates to Stonebridge House.
- Replacement of timber fence of Old Rectory along the village green with hedge or flint walling.

### Listed Buildings

- Church of St Mary
- Row of four memorials north of the church tower

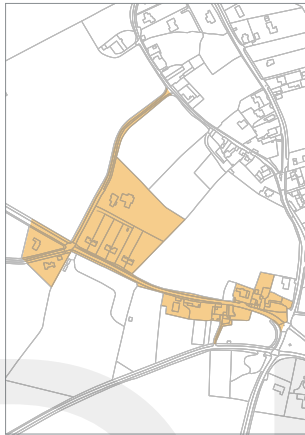
### Proposed Locally Listed Buildings

- Stonebridge House
- Old Rectory

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## 6. BLAKENEY ROAD

Rising up away from the village green, historic cottages and a farm complex crowd the east end of the road with dwellings becoming sparser and newer towards the edge of the village.



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### Defining Features

- Concentration of small scale, mostly historic cottages at the east end together with the complex of buildings that make up Green Farm. Further east, three pairs of early twentieth century houses are a distinctive feature.
- Much of the road is bounded by agricultural land demarcated by flint walls. An orchard has recently been planted.
- Attractive view approaching the village green with the church framed by cottages. Also a good view across the fields to Blakeney church.

### Key Issues

- Condition of Green Farm.
- Poor quality render and additions to some of the historic cottages.
- Ivy growth and damage to the flint walls.
- Ivy growth on the trees.
- Small tree planted adjacent to Wiveton Bell.
- Decking in front of the Wiveton Bell.

### Recommendations and Opportunities for Enhancement

Note that these issues are ones specific to this area. The general recommendations within the Management Plan also apply.

- Replacement of leylandii hedging and trees around the semi-detached houses.
- Repairs to Green Farmhouse and reinstatement and reuse of the outbuildings and barns.
- Removal of ivy from flint walls and subsequent repair of the walls.
- Reinstatement of grass outside the Wiveton Bell.

### Listed Buildings

None

### Proposed Locally Listed Buildings

- Wiveton Bell
- Green Farm
- Green Farm Outbuildings



## 7. GREEN OPEN SPACE: RIVER VALLEY

Undulating green fields and meadows rolling down to the Glaven River. Historically this would have had a greater body of water and included the bustling port.



### Defining Features

- Proximity to the River Glaven, which defines the eastern boundary.
- Predominantly arable fields demarcated by hedges and small trees following historic field boundaries.
- Together with corresponding land within Cley on the east side of the river, enables views between the two villages and especially their churches.

### Key Issues

- Use of one field for storage.

### Recommendations and Opportunities for Enhancement

Note that these issues are ones specific to this area. The general recommendations within the Management Plan also apply.

- Maintenance and management of hedges and trees to ensure the appearance of the area.

### Listed Buildings

None

### Proposed Locally Listed Buildings

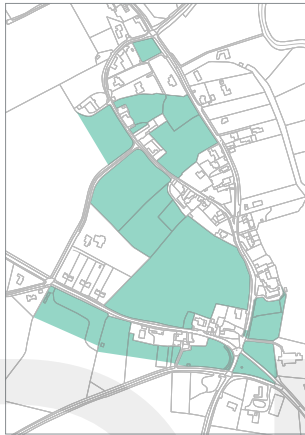
Not applicable

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## 8. GREEN OPEN SPACE: OTHER

The prevalence of green space in Wiveton is one of its defining characteristics. It includes the village green, arable fields, paddocks, allotments and an orchard.



### Defining Features

- Variety of types of green open spaces.
- The village green has two main triangular sections of raised grass. Features on them include an upright cannon, benches and a flint and brick bus stop.
- Arable fields are wide open, undulating areas, the appearance of which changes with the seasons and crops planted.
- The paddocks are grassed, bounded by hedges and often contain mature trees.
- The small area of allotments at the northern crossroads is bounded by a flint wall.
- The orchard on Blakeney Road has been recently planted and is prominent as the ground level is higher than the road.

### Key Issues

- Maintenance of boundary demarcations, particularly flint walls.

### Recommendations and Opportunities for Enhancement

Note that these issues are ones specific to this area. The general recommendations within the Management Plan also apply.

- Careful repair of flint walls.
- Management of the orchard as it matures.

### Listed Buildings

None

### Proposed Locally Listed Buildings

Not applicable

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# Section 7

## Vulnerabilities and Opportunities

This section describes the threats which face the significance of the conservation area and identifies any opportunities to remove or enhance these threats.

### Contents

- 7.1 Condition
- 7.2 Negative Features
- 7.3 Traffic and Parking
- 7.4 Coastal Location and Climate Change
- 7.5 Pressures from Development
- 7.6 Second Home Owners and Holiday Cottages



## 7.1 CONDITION

Generally, the condition of the Conservation Area is good with well-maintained buildings, gardens and boundaries. As of 2018, there are no buildings on Historic England's Buildings at Risk Register, although this only covers Grade I and II\* listed buildings, of which there is only one in Wiveton. There are buildings that are in poor condition or which would benefit from maintenance works. Green Farmhouse and its outbuildings are a particular concern because of their poor condition. It is important for the buildings and structures individually and for the Conservation Area as a whole for built fabric to be maintained to a high standard. This not only maintains their aesthetic qualities but also the integrity of the built fabric and prevents loss of historic fabric. Many of the windows in the historic buildings have been replaced, for example, and it is important that those that remain are regularly painted to maintain them in a good condition so that they do not rot and require repair or replacement. Dormer windows are particularly vulnerable and need to be regularly maintained. Norfolk bricks are typically soft and prone to erosion especially if the pointing is not maintained. Other threats to the appearance of the buildings include the use of cementitious render, the cracking and failure of render, both of which trap moisture leading to damp and potential rot, and the use of too much mortar between flints which alters the appearance of the flint walls. Moss growing on roofs not only impacts on the appearance of the building but traps moisture against the roof, causing the deterioration of the roof materials and increasing the risk of leaks that will affect the internal fabric.



*Green Farmhouse is a significant local landmark building but its condition detracts from its appearance and that of the Conservation Area*



*Dormer windows are particularly vulnerable and need to be regularly maintained*



*The outbuildings of Green Farm are in a very poor condition*





Norfolk bricks are typically soft and prone to erosion especially if the pointing is not maintained



Moss on a roof affects the appearance of the building but also holds moisture against the tiles. The moss also blocks gutters and drains when it is dislodged

Windows need to be painted not only to maintain the overall appearance of the building but also to ensure that they do not rot and require repair or replacement



Cementitious render on a building on Blakeney Road



Excessive mortar alters the appearance of flint walls



The flint boundary walls are a fundamental contributor to the village's character but they are being threatened by a lack of maintenance. There are walls which are failing and others which have collapsed, especially along The Street, Leatherpool Lane and Blakeney Road. On these streets and elsewhere, flint walls are also engulfed with ivy, which not only hides the walls but causes damage to them. Whilst flint is inherently an extremely strong material, the soundness of walls constructed of it relies on the maintenance of the mortar. If the mortar is not repointed promptly, flints will fall out, which not only detracts from the appearance of the wall but also allows water ingress and vegetation growth that weaken the wall further. Given the prominence of flint walls in the village and their important contribution to the village's character, it is essential that the walls are well maintained. To preserve the appearance and integrity of the walls, lime mortar should generally be used as cementitious mortar will cause the failure of soft bricks and lime mortar already in the wall.



*Collapsed flint wall along The Street*



*Damaged flint wall along The Street*



*Failing flint wall on Chapel Lane*



*Failing flint wall on Leatherpool Lane*





*Ivy growing on a flint wall on The Street*



*Ivy engulfed wall on Chapel Lane*

Ivy is also a threat to the buildings and the trees in the village. Green Farm and its outbuildings have considerable amounts of ivy growth, which damages the mortar and brickwork. Ivy is also engulfing many trees in the Conservation Area, which can ultimately lead to the death of the affected trees.



*Ivy growth on the double height barn at Green Farm*



*Engulfed and failing flint wall on Blakeney Road*



*Ivy growing on the trees on the track off Blakeney Road*





Hedges are also an important boundary feature in the village. These too need regular maintenance to ensure they retain their shape and density. Where hedges become thin or break up, the integrity of the boundary is compromised.

The floorscape contributes to the overall appearance of the Conservation Area. Much of the existing manmade floorscape is not historic but the type and quality of materials need to be considered to avoid surfaces that detract either from being poor quality or from being unsuitable for the rural character of the Conservation Area. Similarly, road and track surfaces should be maintained as potholes detract from the appearance of the Conservation Area.

The quality of the landscape around the buildings and the green open spaces is also important in maintaining the condition of the Conservation Area. The verges and areas near the church and pub are at particular risk of being churned up by vehicles. However, it is not desirable to add bollards other than in exceptional circumstances as these add urban elements that detract from the rural character of the Conservation Area. The maintenance of private gardens is also important where they are visible from the street, for example the garden of Stonebridge House is highly visible.



*Hedge thinning on The Street*



*Cobbled floorscape on Chapel Lane is being damaged by vehicles*

## 7.2 NEGATIVE FEATURES

The overwhelming majority of buildings and structures in the village contribute positively or are neutral to the Conservation Area. However, there are a few elements which detract from its character and which could be improved or avoided in future.

The greatest threat to the character area is the intrusion of suburban elements or elements that are out of keeping with the Conservation Area, such as timber fencing and solar panels. With changes in technology, the removal of television aerials and satellite dishes should be encouraged.

Wheelie bins are now a common feature across the country and in a small settlement with historic buildings where there is no bin storage designed in, there is no option but to have bins stored in view, such as in alleys off the historic streets. Where practical and subject to planning policy terms, it might be possible for households to screen bins with planting, fences or walls. Where practical, it might be possible for households to share the large bins to reduce their numbers.

The replacement of front gardens with hard landscaping or the excessive widening of access points also erode the character of the Conservation Area and results in the loss of boundary demarcation. Similarly, the introduction of leylandii hedges and trees compromises the horticultural character of the Conservation Area.





*Solar panels on two properties on Blakeney Road*



*Solar panels on Church Farm barn*



*Solar panels on Sunny Corner are made more prominent by the rise in the land*



*Climbing wall on the side of Glaven Lodge detracts from the appearance of the historic building*



*Example of prominent bins introducing a suburban element into the rural village landscape*



*Loss of a sense of a defined boundary in front of the new house on The Street*





*The access to the barn conversion on Hall Lane creates a gaping opening in the street boundary*



*Timber fencing on Hall Lane feels out of place compared with the usual flint wall or hedging*



*Leylandii hedge on Sandy Lane*



*Electricity poles and cables deliver an essential service but detract from the appearance of the Conservation Area*



The replacement of historic or traditional doors and more especially windows is a significant threat to individual historic buildings and to the Conservation Area as a whole. Changes to fenestration causes the loss of historic fabric, can alter the appearance and aesthetic value of a building and can also affect the historic fabric of the remainder of the building by changing the breathability of the building. It is preferable to repair damaged windows and to undertake regular maintenance to ensure their enduring longevity. Well executed like-for-like replacement windows (i.e. the same size and proportions of elements constructed using the same materials and finishes as the existing) maintain the aesthetic, though not the evidential value, of the historic windows. It can also be possible with some windows to incorporate slimline double-glazing to traditional style timber windows without affecting the appearance substantially. uPVC windows should not be used in historic buildings in a Conservation Area and are undesirable on modern buildings within the Conservation Area.



*Example of an inappropriate uPVC window*



*Window vents added to replacement windows detract from the appearance of the windows*



*The storage of plants and unkempt grass detract from the streetscape whilst the trellis screening blocks the view towards Cley*



*Screening with a hedge would improve the appearance of the corner of Chapel Lane*

Whilst the Conservation Area is a place where people should be able to live and work, it is important for the preservation of the character of the Conservation Area that stored paraphernalia should not be visible from accesses. Any screening should be in keeping with the Conservation Area, for example hedges rather than trellis or panel fencing. Any screening also needs to be mindful of views.



**NEGATIVE FEATURES**

-  Negative Features
- A Leylandii tree
- B Lack of boundary demarcated open gravel area
- C Climbing wall fittings
- D Solar panels
- E Modern porch
-  Feature whose condition detracts

*This plan is not to scale*

Plan showing negative features within Wiveton Conservation Area © North Norfolk District Council. Reproduced by permission of Ordnance Survey © Crown copyright and database right [2009]. All rights reserved. Ordnance Survey Licence number 100018623.



### 7.3 TRAFFIC AND PARKING

Whilst the Wiveton Conservation Area is located south of the A149 Coast Road, it is nonetheless relatively busy with vehicular traffic, both from people passing through the village and those visiting the popular Wiveton Bell pub. The lanes are narrow, especially for large vehicles, and there is a risk of damage to buildings and walls that bound the street. Many sections of the streets have short-range visibility whilst the various junctions are also potential hazards, particularly near the village green where there are a lot of junctions close to each other and the ground level is raised above the road level. The absence of pavements for pedestrians further increases the dangers, although the introduction of pavements would change the character of the village significantly and is not advocated.

Wiveton has a car park in a former field on the edge of the Conservation Area which has helped to reduce the parking on the village green that previously blighted the village. Around the village, residents have created informal parking laybys on the verges. Some of these have been gravelled whilst others are bare mud. They are not especially attractive but equally more formal surfaces would alter the character of the Conservation Area. The sparseness of the village means that the issue is not as bad as in more populous villages.



*Examples of parking laybys created on Chapel Lane*

### 7.4 COASTAL LOCATION AND CLIMATE CHANGE

Wiveton is located less than 30m above sea level. Sea level rates are estimated to increase by between 68 and 80cm over the course of the twenty first century whilst changes in temperature and precipitation are also likely to occur.<sup>32</sup> The North Norfolk Coast AONB Climate Change Action Plan identifies key changes that are likely to result from climate change including:

- Rising sea levels with an associated increase in the frequency and severity of flooding;
- Increased frequency and severity of storms affecting beaches and other facilities associated with visitors, which could in turn affect the tourist economy;
- Warmer and drier springs and summers resulting in a potential longer tourist season;
- Changes to agricultural crops and potentially new diseases affecting agricultural crops; and
- Loss of habitats and species.



Historic buildings and environments will also be affected by changing climatic conditions. Apart from the damage caused by storms and flooding, wet conditions promote decay and increase the risk of subsidence. Gutters and drainpipes may not be sufficient to cope with increased rainfall resulting in water ingress and damp and associated rot caused by water not being carried away from the built fabric.

The need to respond to changing climatic conditions may also put pressure on the historic environment and individual buildings with the incorporation of renewable energy sources, increased insulation, the fitting of window shutters and other measures.

Damage may also occur to below ground archaeology that has the potential to enhance understanding of the village's history and development. This may be as the result of flooding, drying out of the ground or deeper/more intensive crop cultivation.

Current planning legislation and heritage guidance allows for changes to historic buildings to facilitate environmental sustainability providing that they do not detract from the significance of the heritage asset. There are instances where the benefit to a group of heritage assets and the wider historic environment of the conservation area outweighs the localised harm to the setting of some heritage assets.

### 7.5 PRESSURES FROM DEVELOPMENT

With a national housing shortage, planning policy has evolved in recent years to encourage house building. The popularity of the North Norfolk Coast area means that there is considerable pressure for the construction of new or replacement dwellings. This is less evident in Wiveton than in neighbouring villages, such as Cley and Blakeney, but is nonetheless present and growing.

Planning legislation allows for buildings of high design quality to be constructed in historically sensitive areas, which enables the continuing evolution of a place whilst ensuring the quality of the environment. Provided the design is of high quality and construction, the materials and style of the new building does not have to match those of the existing buildings in the area. There is a risk in a village like Wiveton that the construction of too many buildings of contrasting design and materials could erode the character of the conservation area and it is important that the collective impact of the growing numbers of such buildings is taken into account each time one is proposed. Wherever possible, applicants should be encouraged to make use of sympathetic traditional materials, scale and massing so that new buildings sit harmoniously within the streetscape and the wider Conservation Area. Consideration should also be given to the impact of large areas of glazing in a design of otherwise traditional materials as these can create detrimental blank spaces in views of the village.

As well as the design of the individual buildings, a very important consideration in Wiveton is the impact on the layout of the village of any additional buildings. One of the principal characteristics of the village is its sparse development and the high visibility of green space within and beyond the village. The construction of any type of housing estate would be entirely at odds with the character of the Conservation Area and will not be deemed acceptable. Equally, the protection from the Glaven Valley Conservation Area, Cley Conservation Area and the two SSSIs and the AONB limits scope for development outside the existing development boundary of the village.

Inside the Conservation Area, there is limited scope for development and any development must comply with planning policy. Consideration needs to be given to the impact of any proposed new dwellings on the character of the Conservation Area (which may include impacts such as parked vehicles as well as of the finished new dwellings) and also of the impact on views. Building on the undeveloped plots to the east of The Street, for example, is not desirable because of the impact on views towards Cley. Where new dwellings may be acceptable, it is important that existing boundary walls, mature trees, shrubs and hedging are fully preserved to minimise the impact on the historic fabric and the character of the Conservation Area. Building on the areas of green open space in the Conservation Area should not be permitted, particularly on the east side of the Conservation Area.



Outside the Wiveton Conservation Area, as inside, any proposed development must comply with planning policy legislation. It should be noted that all the area immediately around the Wiveton Conservation Area falls within other conservation areas (Cley and the Glaven Valley) and therefore the impact of any development must be considered in terms of the impact on the relevant conservation area and the setting of the Wiveton Conservation Area.

## 7.6 SECOND HOME OWNERS AND HOLIDAY COTTAGES

Wiveton's location close to the coast means that it is a popular choice for second home owners and for investors creating holiday cottages to take advantage of the area's popularity with tourists. At the end of 2016, it was recorded that 21% of homes in Wiveton were second homes.<sup>33</sup> Some local jobs and revenue are generated by holiday accommodation but second homes do not bring these economic benefits. The effects of high numbers of both types of properties on local communities are well documented nationally. The impacts in Wiveton are the same as those experienced elsewhere: a hollowing out of the community, especially in the winter; a distorted population that undermines local services; and local people priced out of the village they grew up in.

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# Section 8

## Management Plan

This section sets out recommendations for the management and enhancement of the conservation area. It also includes details of a review of the boundary of the conservation area.

### Contents

- 8.1 Introduction
- 8.2 Conservation Philosophy
- 8.3 Recommendations



## 8.1 INTRODUCTION

This management plan provides:

- An overarching **conservation philosophy** which sets out the guiding principles for the retention and enhancement of the character and appearance of Wiveton Conservation Area.
- **Recommendations** which give more detailed guidance for the protection of existing features of special interest and the parameters for future change to existing buildings or new development.

Once this Conservation Area Appraisal and Management Plan has been adopted by NNDC, the philosophy and recommendations in this section will become a material consideration in the council's determination of planning applications, listed building consents and appeals for proposed works within the Conservation Area.

Building owners and occupiers, landlords, consultants and developers should refer to these recommendations when planning change within the Conservation Area. Adherence to this guidance will ensure designs consider the special interest of Wiveton from the outset and that change makes a positive impact on the Conservation Area.





## 8.2 CONSERVATION PHILOSOPHY

*The overarching aim of the recommendations in this management plan is the preservation and enhancement of the character, appearance and special architectural interest of the Wiveton Conservation Area.*

- Fundamental to the character of Wiveton is its well-maintained historic built environment. Regular maintenance is vital to achieving this as it prolongs the life of historic fabric. Timely repairs should be undertaken on a like-for-like basis.
- Nationally and locally designated buildings and associated structures and features should be preserved and enhanced.
- Where possible, detracting features should be removed where they already exist and the addition of detrimental features should be avoided.
- Sensitive reinstatement of features that have been lost or replaced with inappropriate alternatives will be encouraged where based on a sound understanding of the significance of the building and its historic development.
- The preservation and enhancement of the setting of individual heritage assets is important and will include maintaining historic outbuildings, subsidiary structures, boundary features and landscape features or reinstating them where there is evidence of their loss.
- The character of the Conservation Area will be preserved through the maintenance of a built environment in which the buildings are almost all of one or two storeys in height, are of small or medium scale, and use traditional local materials, namely flint with brick dressings and clay pantiles. Pitched roofs, gables and chimneys are important elements of the roofscape of the village. There are historical exceptions to this scale, massing and materiality but they are, by definition, rarities and will not be regarded as precedent for new development.
- The village will be managed to maintain the existing sparse density of building and the distinction of the two clusters of buildings around the village green and the junction of Chapel Lane and The Street. Boundary demarcations, especially flint walls will be preserved and, where necessary rebuilt.
- The rural character of the village should be preserved: urban or suburban introductions will not be permitted and an overly manicured public realm will be avoided. The considerable areas of open green space within the Conservation Area will be retained together with the hedges and mature trees that create the leafy character of the village.
- Any new development, whether attached to an existing building or detached in its own plot, must be appropriate in terms of scale, massing, design and materials. It will be of high quality in both its design and construction so that it is valued by current and future generations.
- Associated landscaping should be appropriate to the area of the village in which it sits. There will be a presumption in favour of the retention of existing mature trees for all new developments.
- New development will not negatively impact on views within or towards the Conservation Area and views of landmark buildings will be preserved.
- The setting of the village contributes considerably to its special interest and will be maintained. The salt marsh will be preserved to the north of the village as will the open river valley to the east. The presence of agricultural farmland will also be continued.
- The historic links with the other Blakeney Haven ports are significant and views to Cley and Blakeney will be preserved.





## 8.3 RECOMMENDATIONS

### 8.3.1 Repairs, Materials and Techniques

There is a consistency to the materials palette used in Wiveton that is a fundamental part of its character, which is predominantly flint complemented by brick, render and pantiles. These traditional materials require repair and maintenance using traditional techniques, particularly the use of lime mortars and renders, in order that the breathability of the historic buildings is maintained and moisture does not become trapped within the fabric, leading to decay. Regular maintenance ensures the appearance of the Conservation Area is preserved and is also of benefit as it ensures that small problems do not escalate into larger issues, which cause more damage to historic fabric and a greater cost to put right.

#### Recommendations

- Buildings and structures should be maintained in good condition.
- Repairs should be on a like-for-like basis wherever possible. That is, a repair that matches the historic element removed in terms of material, method of construction, finish and means of installation.
- Maintenance and repairs should be undertaken on a regular basis to prevent problems with condition and to rectify issues before they escalate.

- Reversibility (the ability to remove a modern repair or material without damaging the underlying historic fabric) is an important consideration, as better alternatives may become available in the future.
- Historic materials should be reused for repair wherever possible, for example rebuilding a brick wall in poor condition using as many of the original bricks as possible.

### 8.3.2 Retention of Existing Features and Details

The existence of key features and details and their design, materials and form make important contributions to the appearance of individual buildings and the streetscape as well as to the character of the Conservation Area overall. Loss or inappropriate replacement of such features and details causes the incremental diminishment of appearance and character. In Wiveton, buildings are typically small to medium scale and are constructed of flint with red brick or of red brick, which is sometimes painted, limewashed or rendered. Most buildings are residential and are vernacular in style. Traditional windows are timber sashes or casements. Traditional doors are usually either plank and batten or panelled doors. More detail can be found in section 4.

Existing features and details may not be original to a building but may be later additions which are also historic. Such features and details not only still have

aesthetic value but also illustrate the changes to the building and the Conservation Area over time. Some features and details may also record past uses of a building and so contribute to the evidential record of the village's history.

#### Recommendations

- Original and historic windows (including dormers) and doors should be preserved and maintained through diligent repair.
- The appearance of windows and doors that are recent replacements made to match the original or historic designs should be retained.
- Shop fronts and display windows, whether in retail use or not, should be retained and preserved.
- uPVC windows and doors should not be permitted within a Conservation Area, and will not be allowed on listed buildings. Building owners will not be required to immediately remove existing uPVC windows or doors but when replacements are required in the future, these should be in timber, particularly on primary elevations. Windows should be either vertical sliding sashes or side-hung casements. This will enable the character of the Conservation Area to gradually be improved over time.



- Chimneys and chimney pots should be retained and preserved. Where rebuilding is necessary, the design and form of the existing chimney should be retained and historic materials reused where possible.
- Patterns of flint and/or brickwork in buildings and boundary walls should be preserved. If rebuilding is necessary, a record will be taken in advance of works starting and the wall rebuilt to match exactly.
- Inscription stones and decorative features should be retained and preserved in situ.
- Historic gates, railings and walls should be retained and preserved. Where new gates or railings have been made to match removed historic ones, the pattern, form and materials will be preserved in any future replacements.

### 8.3.3 Alterations, Extensions and Demolition

Wiveton has evolved over centuries and its built fabric reflects both changes in the village's fortunes and in prevailing fashions. It is not the purpose of designation to prevent future change, which is necessary for the enduring sustainability of the heritage asset. Instead, the purpose of designation is to ensure change is carried out in a manner that not only does not cause harm but also, where appropriate, enhances the heritage asset.

Loss of fabric (demolition) and additions of new fabric can cause harm to individual buildings, the streetscape and the Conservation Area more widely. Proposed change will be evaluated on a case by case basis as the small variations in location, past change and detailing between one existing building/site and another means that what is acceptable for one building/site may not be acceptable on another.

The impact of proposed changes on the heritage asset or assets affected should be undertaken through a formal heritage impact assessment, which will be a requirement of any planning application for change in the Conservation Area (see information box to the right). This should consider the heritage asset or assets affected, their setting and key views. Any change in the Conservation Area or close to it (in its setting) will require assessment in terms of its impact on the Conservation Area as a heritage asset. Further assessment may be required in relation to an individual listed building or listed buildings near the subject of the proposed change.

#### What is a Heritage Impact Assessment?

Heritage Impact Assessment (HIA) is a process of identifying what is historically and architecturally important about a heritage asset, in order to be able to assess whether proposed changes will have a positive, negative or no impact on the heritage values of the place. Advice is usually given by a specialist heritage consultant and the resulting conclusions presented in a report, which should include:

- Identification and description of the proposals site and its setting;
- Identification of any designations, such as listing, which the site is subject to or which are within the setting of the site;
- Description of the history of the property;
- Identification of the 'significance' of the site, i.e. its historic and architectural interest;
- Assessment of the impact the proposals will have on the significance of the site, as well as recommendations for any changes to the scheme that will reduce any negative impacts that are identified.



Alterations to existing buildings should be carried out using materials that are of appropriate appearance and of a composition that will not cause harm to the existing fabric. For example, alterations should not be carried out using brick that is harder than the existing as it will cause the existing brick to deteriorate.

Buildings can be important records of their own development. There should not be a presumption that reversing historic changes will be acceptable as this can diminish the illustrative value of a building. However, not all past changes are beneficial to a building and the removal of negative features or reinstatement of lost features can enhance a building.

Alterations and extensions should be of a scale, design and quality that will enhance the Conservation Area. The addition of modern fittings also needs to be considered carefully as items such as satellite dishes and aerials can be visually detrimental to the Conservation Area. These should be located on rear elevations away from sight of the public highway. This is also true of solar panels. The siting of these on primary elevations visible from the public highway is strongly discouraged within the Conservation Area, in order to preserve its historic character. The addition of solar panels will require planning permission if they protrude 200mm above the roofline or are sited on a wall adjacent to the highway.

Demolition of buildings or features that detract from the Conservation Area may be beneficial. Whether

or not the existing building contributes positively to the Conservation Area in terms of its appearance, if it contributes positively in terms of layout, demolition should only be permitted where rebuilding is proposed.

Article 4 Directions can be placed on individual properties by local planning authorities to restrict certain permitted development rights. This can be a means of providing extra controls over the type and extent of development that is allowed. Given the number of listed buildings and proposed locally listed buildings within the Blakeney Conservation Area, which themselves are subject to controls over development, no Article 4 Directions, which would control development to unlisted buildings, are deemed necessary in Blakeney at this time.

#### Recommendations

- The heritage impact of proposed alterations, extensions and demolition will be assessed prior to approval of works.
- Proposed changes should preserve or enhance the character of the Conservation Area. This means that changes should be respectful of the typical architectural and visual character of the conservation area. Enhancement could be achieved through removing a feature which is out of character with the characteristics of the area and replacement with something more in-keeping.

- Extensions should be subsidiary to the existing buildings in their massing and design. The scale of extensions should be in keeping with the existing buildings.
- The use of traditional materials should normally be used for alterations and extensions, namely flint, red brick and clay pantiles. There may be scope for limited use of timber, timber weatherboarding, render, stone, slate and other traditional materials, though thoughtful and sensitive design with modern materials may be acceptable.
- Extensions should be of a high quality of design and constructed.
- Negative features should be removed when the opportunity arises.
- Modern additions, such as (but not limited to) solar panels or satellites dishes, should not be located on primary elevations or street frontages.
- Any modern materials added to a building should be high quality and sympathetic.



### 8.3.4 New Development

New development will be subject to local and national planning policies. It may take the form of replacement buildings or construction on undeveloped plots. Many properties in Wiveton have large garden plots and the dispersed nature of the village means that there are many places where farmland runs right into the village. The presence of undeveloped land along a street does not equate to a development opportunity as subdivision of gardens or building on farmland will quickly impact on the character of the village.

Any new development should respect the character of the immediate area of the Conservation Area in which it is proposed to preserve the differentiation between areas within the Conservation Area and so preserve the diversity of the Conservation Area as a whole. New development should not compete with or overshadow existing buildings, particularly where the existing buildings are historic. This is so that the character-defining historic buildings remain preeminent and their setting is not harmed.

The materiality of new development is important. High quality materials should be used to maintain the overall quality of the built environment and to ensure, from a sustainability point of view, that the building has durability. Traditional local materials are widely used in the Conservation Area and are a major contributor to its character, though with good design it may be possible to incorporate some limited modern materials.

### Recommendations

- New development should generally be of the same or a lesser scale and massing as the buildings around it.
- Traditional local vernacular materials should normally be used, namely flint, red brick and clay pantiles. There may be scope for limited use of timber, timber weatherboarding, render, stone, slate and other traditional materials, though thoughtful and sensitive design with modern materials may be acceptable.
- The design of new development should be of a high quality that will be valued now and in the future. There is no presumption in favour of either traditional or contemporary design.
- The quality of construction should be high.
- Historic plot or field boundaries should be preserved when new development occurs.

### 8.3.5 Streetscape, Public Realm and Green Landscape

The streetscapes within the Conservation Area are made up of many components and are vulnerable to incremental change that cumulatively affects the composition. When considering change to individual buildings or elements in the public realm, the impact on the streetscape should be assessed both in terms of the impact of the change and the impact in conjunction with other changes that are either proposed or have taken place. It may be acceptable for a change to be made once on a street but to repeat the change multiple times would diminish the character of the street.

Wiveton is a rural coastal village and its public realm should reflect this. Efforts should be concentrated on ensuring the long-term conservation of the built fabric, for example, through the removal of vegetation from flint walls to improve condition, rather than creating a pristine public realm.

The green spaces within Wiveton are fundamental to its rural, leafy character and should be preserved and where possible enhanced.



### Recommendations

- Proposed change will be considered in relation to the streetscape and change will be regulated to preserve the specific character of different streets.
- Boundary walls should be preserved and regularly maintained.
- New development should normally have defined boundaries demarcated with boundary treatments that are in keeping with the character of the Conservation Area.
- The green spaces within the Conservation Area should be preserved.
- Parking on the village green will not be permitted.

#### 8.3.6 Setting and Views

The setting of Wiveton contributes to its special interest. The physical setting encompasses different types of landscape. These may be subject to some change as a result of climatic or natural change as has been seen over the centuries.

The setting also encompasses the historic links between the Blakeney Haven ports. Where these are linked by visual connections, these should be preserved.

The ability to appreciate heritage assets individually or collective from key viewpoints contributes to their special interest.

#### Recommendations

- Development on the protected salt marsh will not be permitted.
- Development will not be permitted in the river valley between Wiveton and Cley. The replacement of any agricultural buildings should be on a like-for-like basis in terms of footprint, scale and massing. The design of any replacement agricultural buildings should be simple and the materials used should facilitate blending into the landscape.
- Key views within and into the Conservation Area will be preserved.
- Views of landmark buildings will be preserved.
- Views towards Cley and Blakeney will be preserved.

#### 8.3.7 Traffic and Parking

Wiveton's streets were not proportioned to take the considerable volume of modern traffic that passes through the village. With no pavements, vehicular traffic is a potential hazard to pedestrians and also the buildings that abut the street.

North Norfolk is a popular tourist destination and is especially busy in the summer season. Wiveton is not directly on the coast but is nonetheless popular and has an award-winning pub that attracts many visitors. Tourism is vital to the local economy but its needs must be balanced with those of local inhabitants.

Public transport in Wiveton is limited to a bus service. The bus route needs to be passable by buses. The maintenance of the bus service will help reduce the number of cars in the village or at least contribute to the number not increasing.

#### Recommendations

- A free village car park should be maintained and kept clearly signposted.
- Parking immediately outside the Wiveton Bell should be limited to people with mobility impairments.



### 8.3.8 Boundary Review

In accordance with the *Planning (Listed Buildings and Conservation Areas) Act 1990*, the National Planning Policy Framework and Historic England best practice guidance, the boundary of a conservation area should be periodically reviewed and suitably revised in accordance with findings made during this exercise.

The need to review the boundary can be in response to a number of factors: unmanaged incremental changes which have, over time, diluted the character of an area; the boundary may have been drawn too tightly originally; or the special interest of a feature may not have originally have been evident to the assessor. Although it is principally the built structures that are recognised in amending the boundary, their accompanying plots often provide an important historical context which should be incorporated together with the building(s).

The boundary has been reviewed and proposed changes are detailed below. If, following public consultation, these amendments are approved, the appraisal document and maps will be updated in accordance with the boundary changes for the final adopted document.

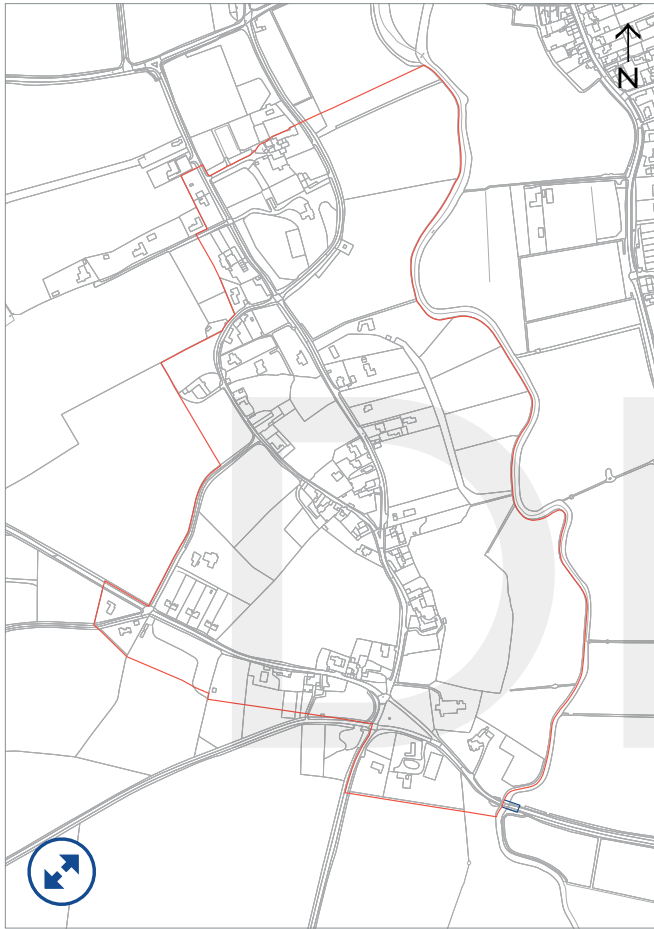
### Recommendations

- The scheduled bridge currently sits just outside the Conservation Area. As one of only three designated heritage assets in the village, this seems an anomaly. It is therefore proposed that the Conservation Area will be extended to include the bridge.
- There is little building outside the conservation area. The buildings on the immediate south-west and north fringes are modern and not of sufficient architectural value to merit inclusion. Therefore it is not proposed that the boundaries be changed in these areas.
- There is a historic building isolated from the main part of the village at the north end of Leatherpool Lane. Across the Coast Road from it are the Wiveton Hall estate cottages with the Hall itself beyond. The incorporation of Wiveton Hall and the associated estate cottages just off the Coast Road

would represent a substantial enlargement of the Conservation Area. The estate is separated by the Coast Road from the village and whilst there are strong historical ties between the two, the estate is different in character from the Conservation Area. Therefore it is recommended that the estate remains separate but could be designated its own conservation area if required. Nonetheless, consideration should be given when change is proposed in these areas on the impact on the setting of the Conservation Area.

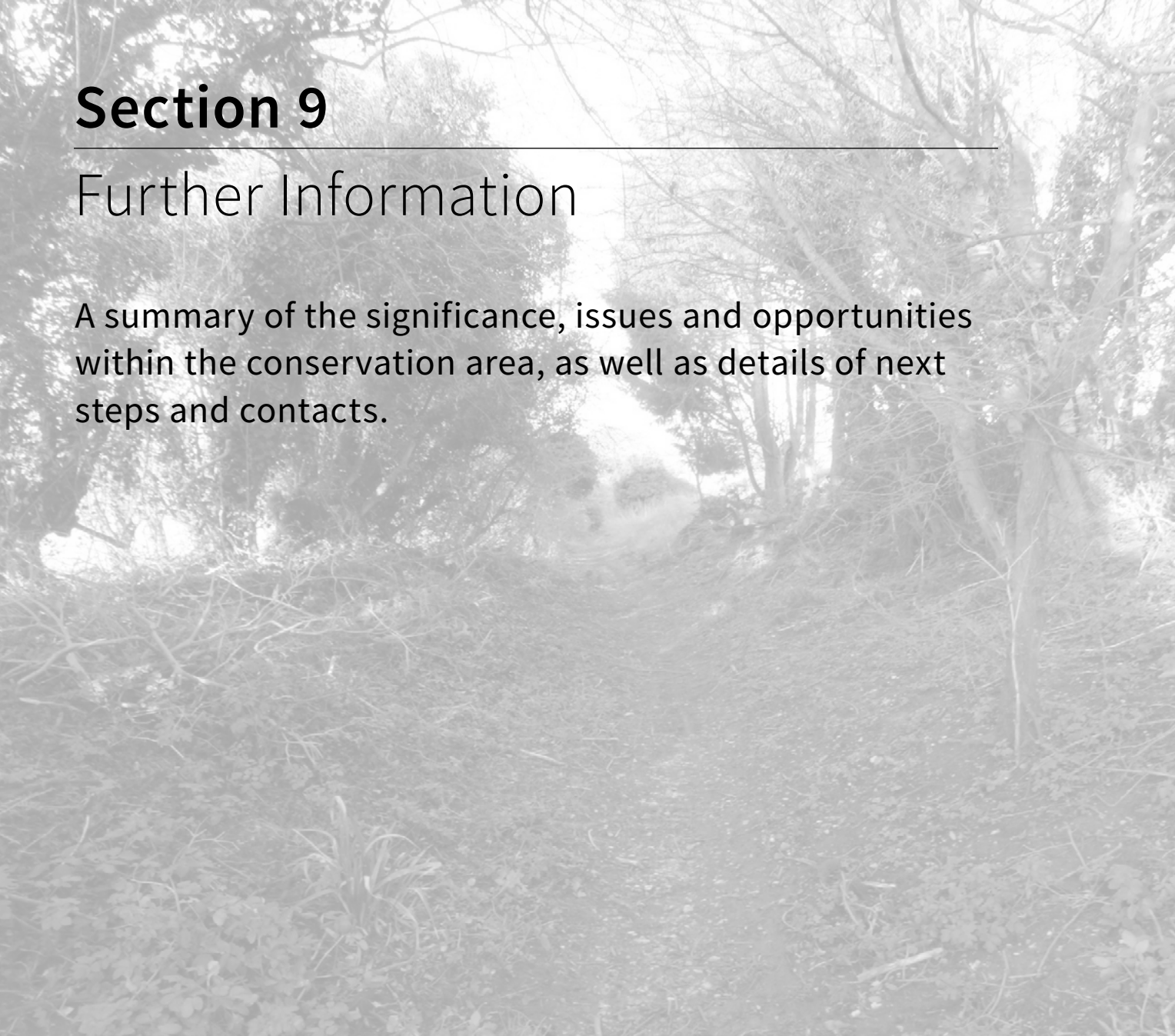
- The landscape around Wiveton is already designated as part of the Glaven Valley Conservation Area. No change to the boundary of the Wiveton Conservation Area is therefore required to cover the landscape around.





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# Section 9

## Further Information

A summary of the significance, issues and opportunities within the conservation area, as well as details of next steps and contacts.



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Wiveton is a beautiful historic village, valued by locals and visitors alike, which is set in a pleasant and geologically important landscape. Its heritage values stem from its history as one of the Glaven Ports and its collection of locally distinctive flint and brick houses scattered along the sparsely developed streets.

The preservation and enhancement of the character, appearance and special architectural interest of the Wiveton Conservation Area should be at the heart of changes made within the area. All its residents have the opportunity to contribute to the preservation and enhancement of the village and ensure that it is passed on to future generations.

## RESEARCHING THE HISTORY OF A BUILDING OR SITE

Before proposing any change, it is important to understand the significance of a building or site. This will require research into historical development. Some useful places to start your search are detailed below.

- **The National Heritage List for England**, to find out whether your building is listed.
- **The Norfolk Heritage Centre at the Norfolk and Norwich Millennium Library**.
- **The Blakeney Area Historical Society**, who run a History Centre containing documents on local history.

- **The Norfolk Records Office**. You can search their catalogue online before you visit or request research to be carried out on your behalf.
- **Norfolk Heritage Explorer**, the Heritage Environment Record for the county.
- **Holt Library**. Interlibrary loans mean that you can always borrow books from other libraries if necessary.
- **The National Archives**. These are located at Kew, London, but the catalogue can be searched online.
- **British Newspaper Archive Online**, which can often be a useful source of local history information.
- **National Library of Scotland**, which allows you to view numerous historic plans online.

## PLANNING ADVICE

If you need further advice on buildings in conservation areas, design guidance and planning permissions, visit the Heritage and Design pages of North Norfolk District Council's website, <https://www.northnorfolk.gov.uk/section/planning/heritage-design/> or contact the Planning Department:

*Insert contact details*

## ADVICE ON CONSERVATION BEST PRACTICE

Historic England's website contains a range of advice and guidance, such as *Conservation Principles: Policies and Guidance* and guides on understanding heritage value, setting and views, to specific guides on types of repairs or types of buildings. This information can largely be found in the advice area of the website.

<https://historicengland.org.uk/advice/>

## FINDING A CONSERVATION ARCHITECT, CONSULTANT OR CONTRACTOR

When undertaking work to an historic building it is important to employ contractors who have worked with them before and understand what would be appropriate in terms of change. There are several organisations that maintain lists of experienced conservation and heritage professionals from architects and surveyors to leadworkers and roofers. The following are databases of consultants who have a proven track record of working with historic buildings:

- The Institute of Historic Building Conservation (IHBC), who have a database of accredited practitioners.
- Royal Institute for British Architects (RIBA) list of conservation architects.
- The Register of Architects Accredited in Building Conservation (AABC).





### TRACKING OR COMMENTING ON PLANNING APPLICATIONS

If you or a neighbour submits a planning application, there will be a period when members of the public can comment on the application. This can be done electronically online via the Council’s Planning website: <https://idoxpa.north-norfolk.gov.uk/online-applications/>

If you are planning works to your own property, it can be useful to check the planning applications that have been approved for similar works in the village to understand what might be acceptable.

It may also be useful to review the planning history for your own site to find out what changes may have been made to your property prior to your ownership. Note that the council only holds planning application records online from 1974 to the present. Applications prior to this date can be requested by contacting the Council’s planning department.

### COMMUNITY ACTION

The Government recognises that local communities care about the places where they live and in light of this has developed neighbourhood plans as a tool for local communities to shape the future of their built environment. These are documents that are created by the local community to sit alongside the local Council’s planning policies to provide planning policies that are specific to that area. It acts as guidance for anyone wanting to make change to that place and for those who are assessing proposals for change.



# Appendix A

## Endnotes and Bibliography



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3 Historic Development

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5 Heritage Assets

6 Street-by-Street Assessment

7 Vulnerabilities and Opportunities

8 Management Plan

9 Further Information

## ENDNOTES

- 01 Section 69 (1), Planning (Listed Buildings & Conservation Areas) Act 1990
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- 04 Wiveton Village Design Statement, <https://wivetonparishcouncil.wordpress.com/village-design-statement/>, accessed 30 April 2018.
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- 16 John Wright, 'The Bridges of Wiveton' in *The Glaven Historian*, Issue 4 (2001), pp. 3-23.
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#### Maps:

C/Sca2/39: Award and Map, 1820 and 1824

C/Sca2/72: Award and Map, 1821 and 1824

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#### Maps:

**Map Box XXX:** 1835 Map of Cley and Blakeney by H.R. Palmer

**Map Box XXX:** Map of Blakeney by Captain G. Collins, c.1774

C 9111.4261 Faden Map of Norfolk

### Photographs:

C WIV 13628: Photograph of illustration of Wiveton Bridge

C/WIV 29673: Wiveton Bridge

C/WIV 5252: Wiveton Church

C/WIV NS 4529: Wiveton Church from Cley

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Post Office Directory of Cambs, Norfolk & Suffolk, 1869. [Part 2: Norfolk]



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*Wiveton Village Design Statement*, <https://wivetonparishcouncil.wordpress.com/village-design-statement/>

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# Appendix B

## Additional Views Images





# B Additional Views Images



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Into the Conservation Area from Hall Lane



Across the river valley towards Wiveton from the Holt Road in Cley near the junction with Town Close.



From Glandford Road, Cley towards Wiveton with Wiveton church prominent in the view and the Old Rectory visible to the south.



View of Church Barn from Sandy Lane with row of pines standing against the sky beyond

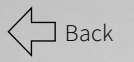


View of Cley from  
Leatherpool Lane



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# Appendix C

## Audit of Heritage Assets


Identification of all the designated and proposed locally listed heritage assets within the Conservation Area.






## LEATHERPOOL LANE

Address / Building Name	Wiveton Barn
Street-by-Street Assessment	Leatherpool Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Pre-C19th
Brief Description	Massive triple height barn of coursed flint with red brick dressings and clay pantile roof.





Address / Building Name	Property adjacent to Wiveton Barn
Street-by-Street Assessment	Leatherpool Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Probably C17th with C19th frontage
Brief Description	Flint with brick building of two storeys with attic under gambrel, pantile roof with dormers. Some of the casement windows have been replaced with uPVC windows. Beyond is a range with lower eaves height. It has a roughcast render exterior with a rendered brick dentil cornice and red brick chimney.








## THE STREET


Address / Building Name	Glaven Cottage, The Street
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Mid C19th
Brief Description	Two storey cottage of flint with red brick dressings. The windows are leaded casements under brick arches. The clay pantile roof has a central red brick chimney with dentil ornamentation. A predominantly brick single storey extension to the north has a timber weatherboarded gable.
	

Address / Building Name	The Parish Room
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	1910
Brief Description	Single storey flint building with red brick dressings, including dentil cornice. Pantile roof with a red brick chimney with a very tall chimney pot. The Room was built in 1910 for the coronation of King George V, which is commemorated with an inscribed stone. The building has been extended at the rear with a flat roofed, brick addition, probably second half of the twentieth century.
	

Address / Building Name	Glaven Lodge, The Street
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Late C19
Brief Description	Detached, three bay, two storey house with attic. White painted brick with dentil cornice and classical portico with octagonal columns. Windows are sashes, except the dormers, which are casement and the window in the modern side extension. Modern pantile roof with clay ridge and two original red brick chimneys with dentil ornamentation. Flint outbuilding to the rear.
	

Address / Building Name	Welcome Cottage
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Probably C18
Brief Description	Large cottage of coursed flint with brick dressings and leaded casement windows. Dormers in the pantile roof and two red brick chimneys. It occupies a commanding position on a rise at the point where the road forks. The flint wall defining the boundary of the property is also important to the cottage's setting and the streetscape.
	


Address / Building Name	Sycamore Cottage, The Street
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Late C18/Early C19
Brief Description	Two storey house to simple classical design. Flint with brick dressings, Dutch pantile roof and two red brick chimneys. Blakeney Housing Association plaque over the door.
	

Address / Building Name	Church Cottage
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Pre-C19th
Brief Description	Two storey cottage with modern addition. The flint walls, which have brick dressings, appear to be coursed at the upper level only and are punctuated by iron ties. The clay pantile roof has two red brick chimneys and a modern metal flue. The modern red brick porch has a utilitarian mid-twentieth century light fitting.
	




THE STREET (CONT.)


Address / Building Name	Church Farm House
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Pre-C19th
Brief Description	Two storey farmhouse of flint with red brick dressings and casement windows. The clay pantile roof has a large red brick chimney.



Address / Building Name	Church Farm Barn
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Pre-C19th
Brief Description	Double height barn arranged perpendicular to road. The walls are flint with red brick apart from a corrugated, coated sheet metal extension. The clay pantile roof takes the form of a catslide roof over the red brick lean-to part of the barn. The roof over the left hand outbuilding is sheet metal also. There is a timber cartshed at the rear which forms part of the group. A simple but very historic lean-to sits along the road.




Address / Building Name	K6 Telephone box
Street-by-Street Assessment	The Street
Status	Locally Listed
List Entry Link	N/A
Brief History	Early C20th
Brief Description	Red painted telephone box of K6 designed by George Gilbert Scott.






## HALL LANE


Address / Building Name	Hall Lane House
Street-by-Street Assessment	Hall Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Probably C18 with C20 alterations
Brief Description	L-shaped flint and brick house with brick dentil cornice. There is a great variety of patterns and materials used in the walls, suggesting considerably redevelopment over time. The north range is a later addition. The porch and possibly the dormer look to have been built in the early twentieth century. There is also considerable variety to the windows, which are general casement. The north extension has timber windows with plain glass whereas those in the historic range are leaded.





Address / Building Name	8 and 9 Hall Lane
Street-by-Street Assessment	Hall Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	1914
Brief Description	Pair of single storey cottages with attics under steeply pitched roof surmounted by three red brick chimneys. The Walls are predominantly flint with red brick dressings except for the gabled ends, which are rendered. Front windows under semi-circular arches infilled with render. Steeply pitched roofs to porches with semi-circular arched front doors. Date stone 1914. Designed by Norwich based architect Stanley J. Wearing.




CHAPEL LANE


Address / Building Name	Church Barn, Chapel Lane
Street-by-Street Assessment	Chapel Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Pre-C19th
Brief Description	<p>Large historic threshing barn converted to domestic dwelling. Not included as listed: attached twentieth century outbuilding range converted to a separate dwelling: The Boatshare.</p> 


Address / Building Name	Primrose Farm, Chapel Lane
Street-by-Street Assessment	Chapel Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	C18 with mid C19 addition
Brief Description	<p>Four bay range with fifth bay added, probably in the early nineteenth century. It has higher eaves. The large red brick chimney stack is in the centre of the four bay range. The walls are of flint with red brick dressings, including a cornice, flat brick arches at first floor level and segmental arches at first floor level. The painted timber windows appear to be modern replacements. The roof is clay pantiles. Associated with the farmhouse is a one and a half storey barn that runs parallel to the road, now converted. It is flint and brick with brick cornice. The street elevation has eight pateresses. The pantile roof incorporates roof lights. A later extension is also of red brick and flint.</p> 

Address / Building Name	Double House
Street-by-Street Assessment	Chapel Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	C18th and early C19th, incorporating earlier fabric
Brief Description	<p>Triple range perpendicular to the road: two ranges of two storeys under roofs of different heights and one single storey range. Three red brick chimneys at each end of the two main ranges and between them; a fourth chimney adorns the single storey range. Clay pantile roofs with solar panels on the single storey range. The south elevation is mostly red brick with some brown brick to the lower storey of the west range. Flat brick arches except one round arch above front elevation windows. Sash windows in the front elevation and east rear range, mostly eight over eight but in different styles West rear range has casement windows. Rear wall predominantly flint and rebuilt in brick. Iron pateresses.</p> 

CHAPEL LANE (CONT.)

Address / Building Name	White House
Street-by-Street Assessment	Chapel Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Probably C18th
Brief Description	Two bay, two storey flint and brick house with rear extension. Four historic sash windows (two over two) to front, casement windows to rear. Three iron wall pattresses. The pantile roof has one pink brick central chimney stack.
	


Address / Building Name	Myrtle Cottage
Street-by-Street Assessment	Chapel Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Late C19
Brief Description	Two storey flint and brick cottage with different flints at first floor level suggesting a vertical extension. bay window The large bay shop window looks to be a replacement. There is one fixed historic window at the front of the house.. Single storey white rendered addition to north. The cottage has a brick dentil cornice and a brick chimney.
	

Address / Building Name	Rose Cottage
Street-by-Street Assessment	Chapel Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Early C19th
Brief Description	Two storey cottage of flint with red brick dressings and a clay pantile roof with a red brick chimney. Some of the casement windows may be early nineteenth century. The walls are supported with two iron pattresses. The cottage is enclosed by a historic garden wall.
	



**BLAKENEY ROAD**


Address / Building Name	Wiveton Bell
Street-by-Street Assessment	Blakeney Road
Status	Locally Listed
List Entry Link	N/A
Brief History	C17th/18th
Brief Description	Village pub. Two storey, three bay building with defined quoins despite its rendering. The painted timber windows and timber porch are modern. To the west is a one and a half storey range with attic dormers. To the east is single storey flint and brick range that has been connected to the main building via a sympathetic new rendered infill structure. All the roofs are clay pantile and there is one chimney to the main building.




Address / Building Name	Green Farm
Street-by-Street Assessment	Blakeney Road
Status	Locally Listed
List Entry Link	N/A
Brief History	C17th/Early C18th
Brief Description	Eighteenth century farmhouse in poor condition, though seemingly containing original fabric. Two storey house with steeply pitched roof covered with Dutch pantiles and two small chimneys. Attached is a one and a half storey range with attic dormers, a red clay pantile roof and one chimney. Also a mid twentieth century flat roofed extension. Windows are casements. There are no windows in the street gable elevation, which is marked by a later red brick chimney stack insertion as well as other red brick detailing evidencing change. The farmhouse forms the east side of a yard around which are arranged a barn and other outbuildings (see below).





Address / Building Name	Green Farm outbuildings
Street-by-Street Assessment	Blakeney Road
Status	Locally Listed
List Entry Link	N/A
Brief History	Mid C19th
Brief Description	Series of outbuildings attached to Green Farm. To the south-east is a red brick outbuilding with flint gable wall, dentil cornice and half moon windows. Separated by an access track is a red brick double height barn with red clay pantile roof and metal sheeting covering the opening. Parallel to the road are two roofless flint and brick outbuildings.





VILLAGE GREEN

Address / Building Name	Church of St Mary
Street-by-Street Assessment	Green Open Space: Other
Status	Listed Building Grade I
List Entry Link	<a href="https://www.historicengland.org.uk/listing/the-list/list-entry/1373501">https://www.historicengland.org.uk/listing/the-list/list-entry/1373501</a>
Brief History	C14th west tower 1437 nave, north, south aisles C15th north and south porches
Brief Description	Medieval parish church with later alterations. Flint with stone dressings. Tower, nave, two aisles, chancel, and both north and south porches.
	

Address / Building Name	Row of Memorial Stones N of Church Tower
Street-by-Street Assessment	Green Open Space: Other
Status	Listed Building Grade II
List Entry Link	<a href="https://www.historicengland.org.uk/listing/the-list/list-entry/1170670">https://www.historicengland.org.uk/listing/the-list/list-entry/1170670</a>
Brief History	1725 1736 1724 1731
Brief Description	Row of four carved, eighteenth century headstones in limestone.
	

Address / Building Name	Wiveton Bridge
Street-by-Street Assessment	Green Open Space: River Valley
Status	Scheduled Ancient Monument
List Entry Link	<a href="https://www.historicengland.org.uk/listing/the-list/list-entry/1003157">https://www.historicengland.org.uk/listing/the-list/list-entry/1003157</a>
Brief History	c.1500
Brief Description	Single span, pointed arch stone bridge with (possibly eighteenth century) red brick flanking walls and piers with stone capping. Area of SW corner may be side of C15th Chapel.
	

Address / Building Name	Stonebridge House
Street-by-Street Assessment	Bridgefoot Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	1930
Brief Description	Substantial Elizabethan revival style house of flint with brick dressings including 'HS 1930' in brick in the gable. Two projecting bays to main façade. Clay pantile roof with one red brick chimney. West roof is hipped. The house has a two storey extension to the east. Two storey cross wing with single storey lean-to extension to the rear. Modern conservatory to the west.
	

Address / Building Name	Old Rectory
Street-by-Street Assessment	Bridgefoot Lane
Status	Locally Listed
List Entry Link	N/A
Brief History	Late C19th/early C20th
Brief Description	Two storey, neo-classical, red brick house with symmetrical elevations and a hipped slate roof. Two red brick chimneys. Set in substantial landscaped grounds.
	



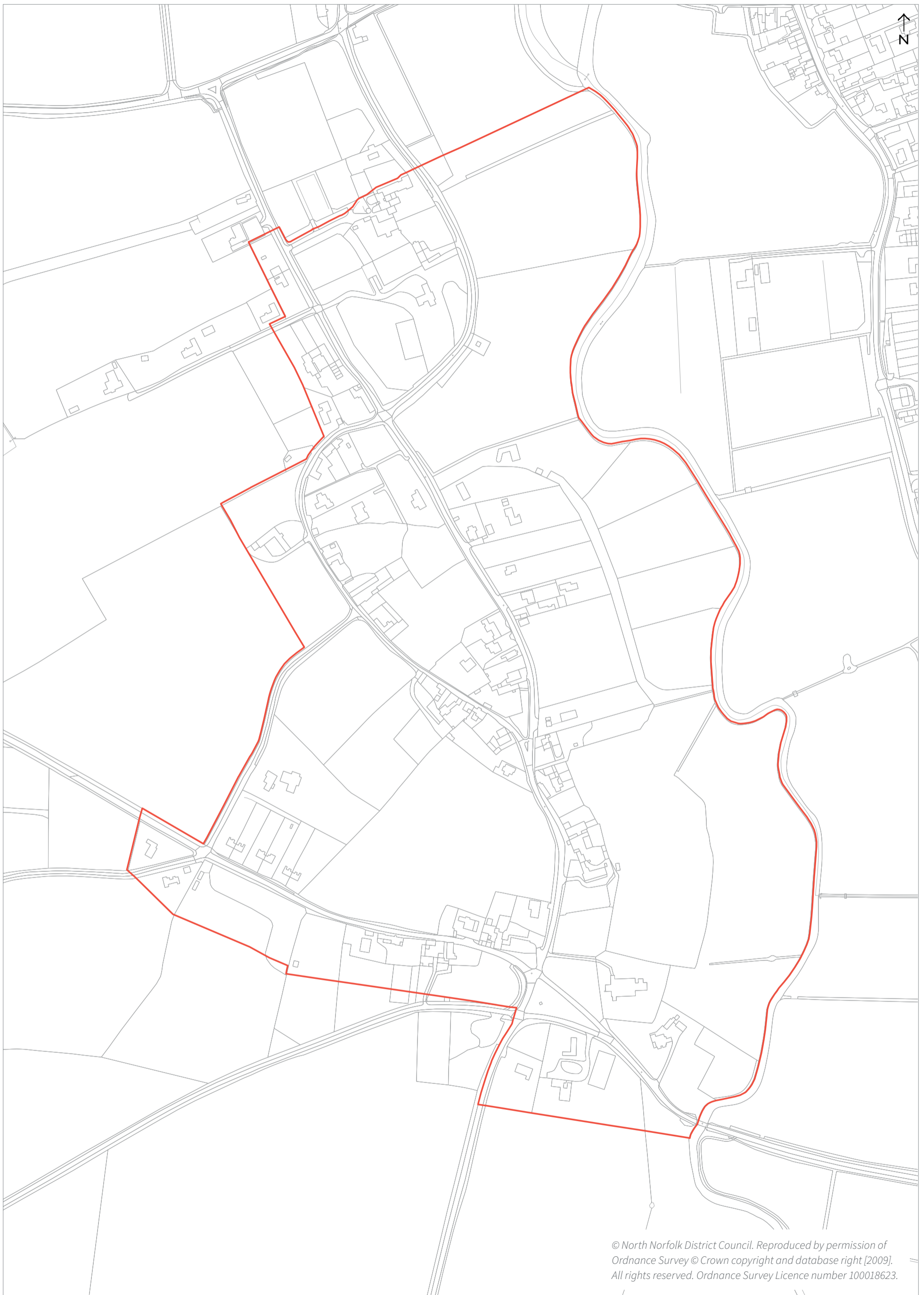
# Appendix D

## Full Size Plans

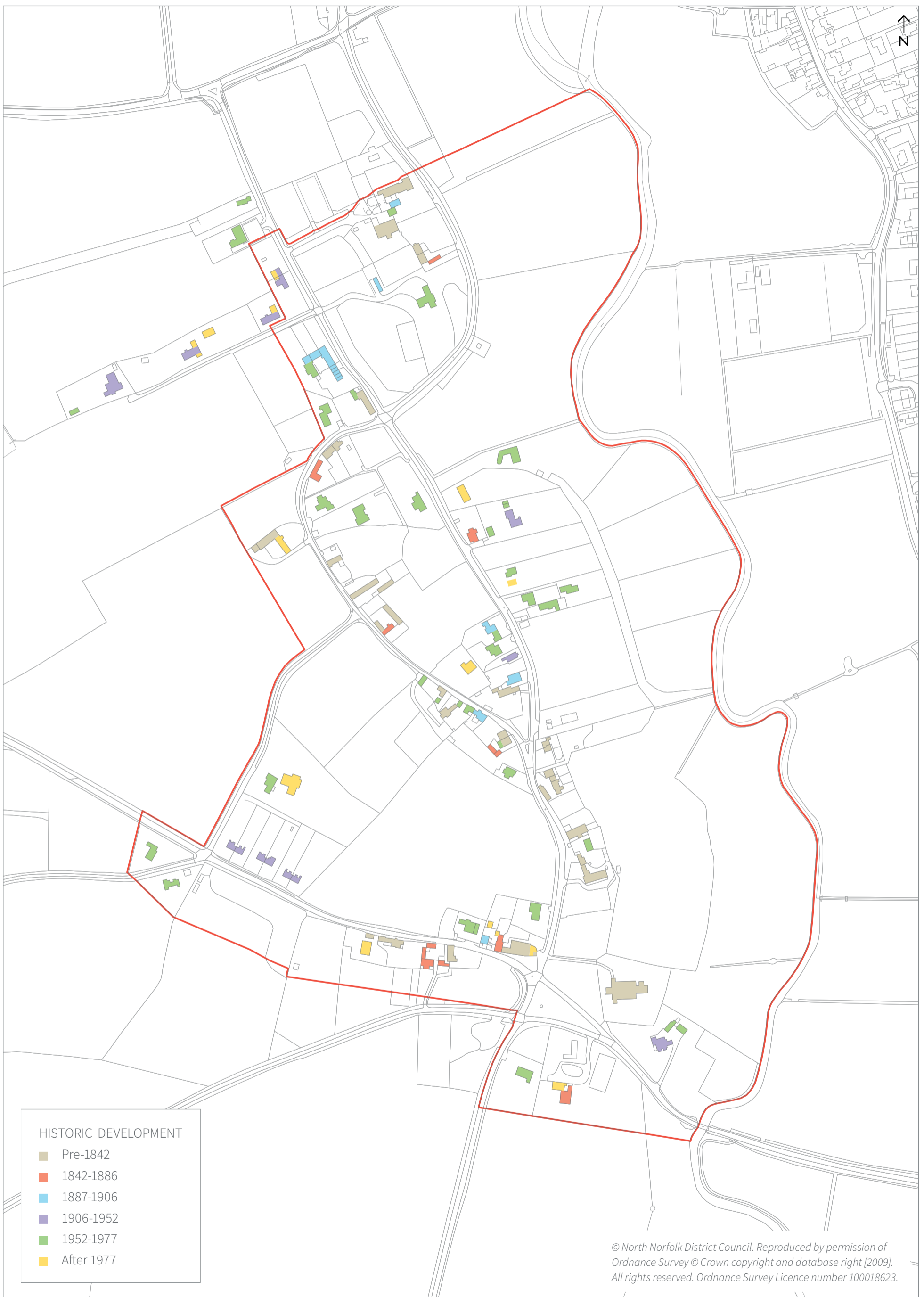




## CONSERVATION AREA BOUNDARY



## HISTORIC DEVELOPMENT



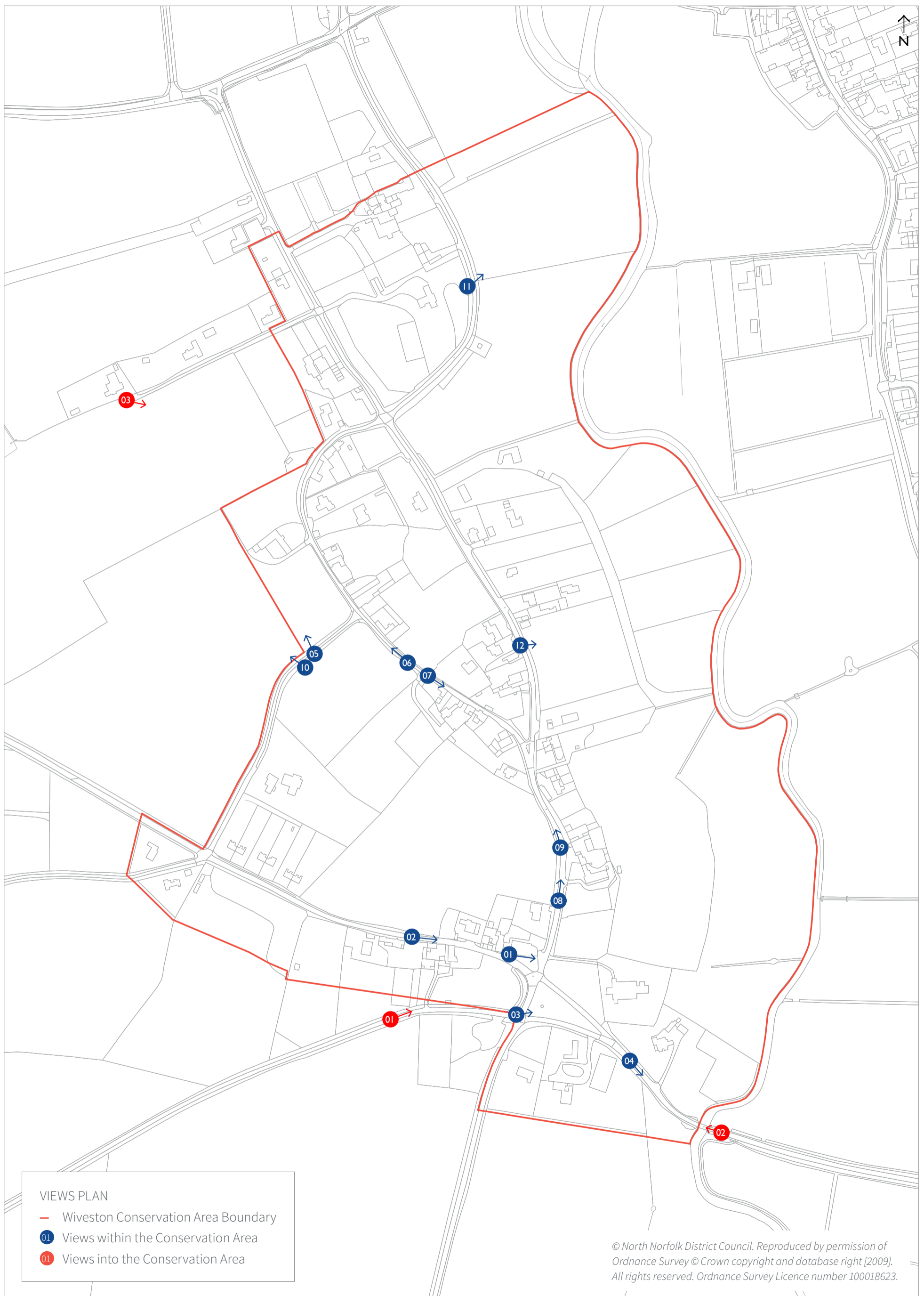


## VIEWS INTO CONSERVATION AREA

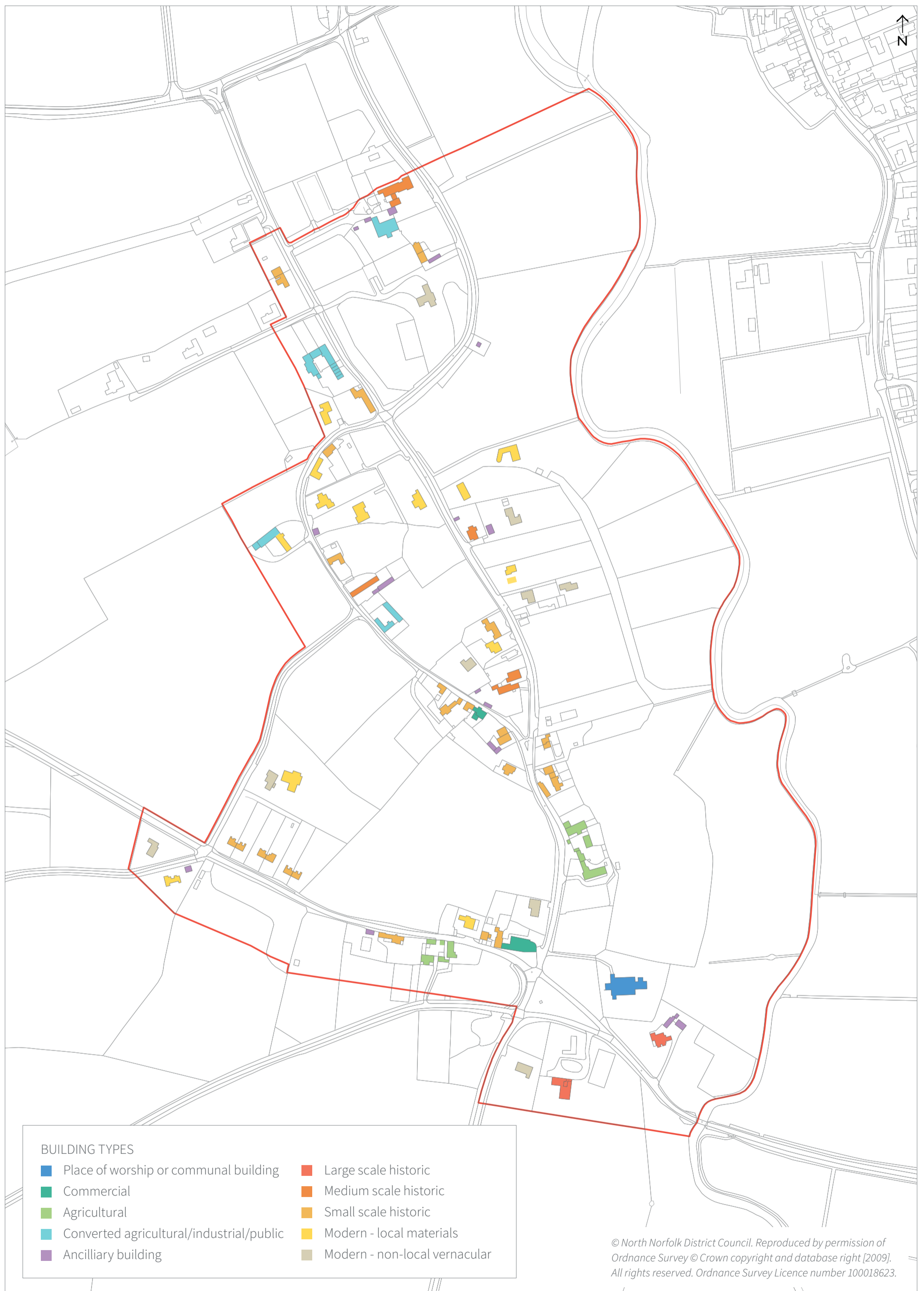




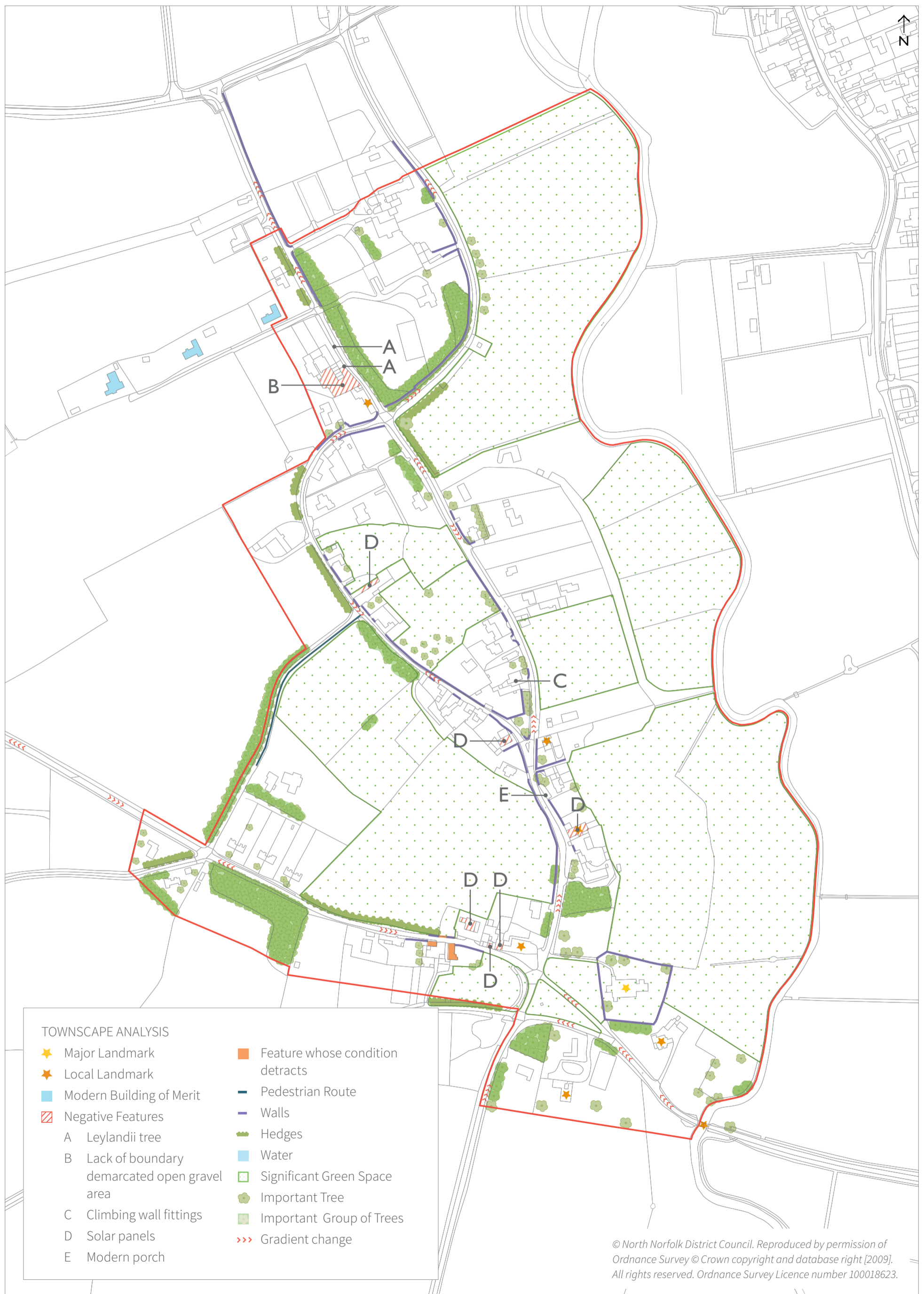
## VIEWS WITHIN CONSERVATION AREA



## BUILDING TYPES

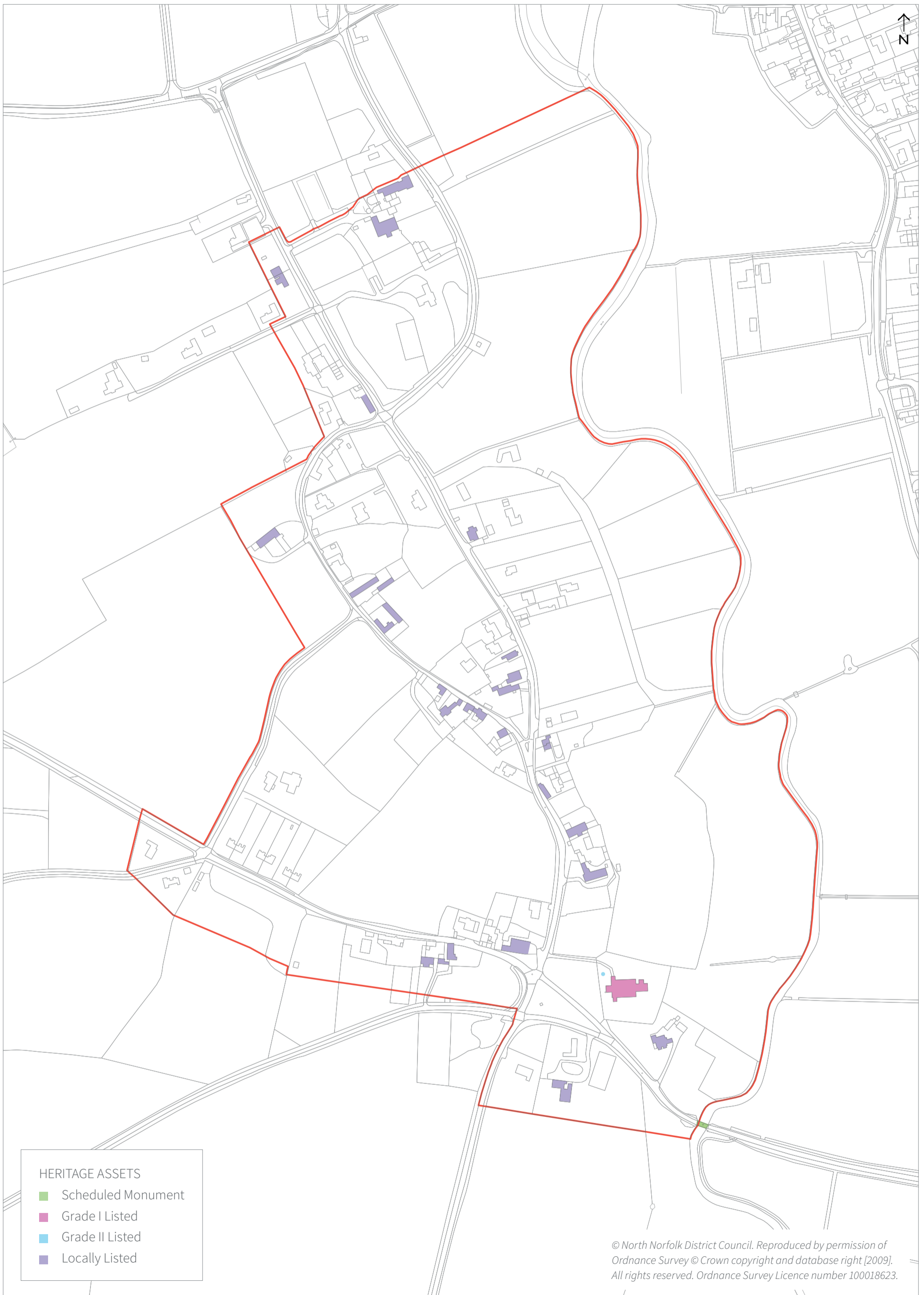


## TOWNSCAPE ANALYSIS

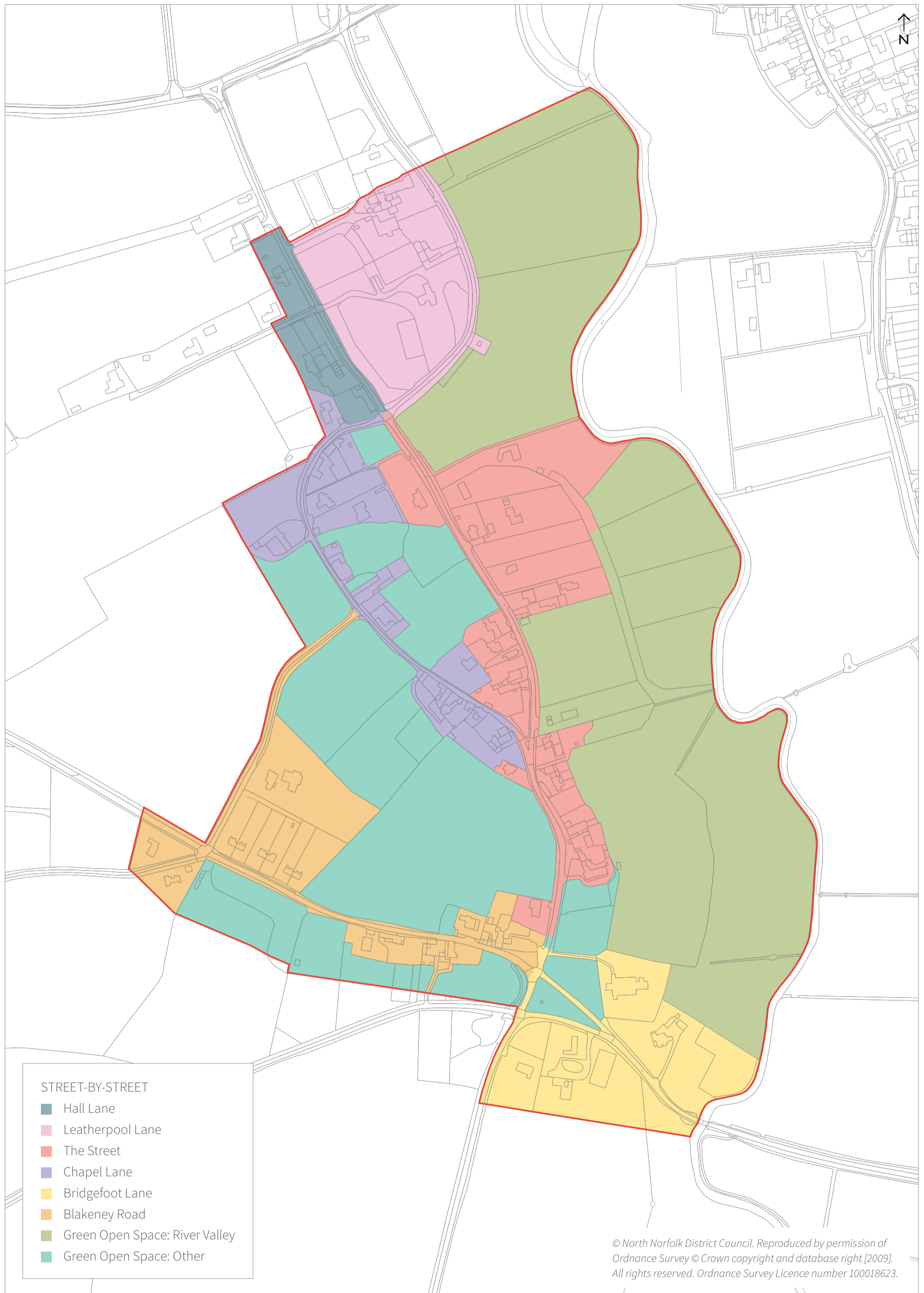




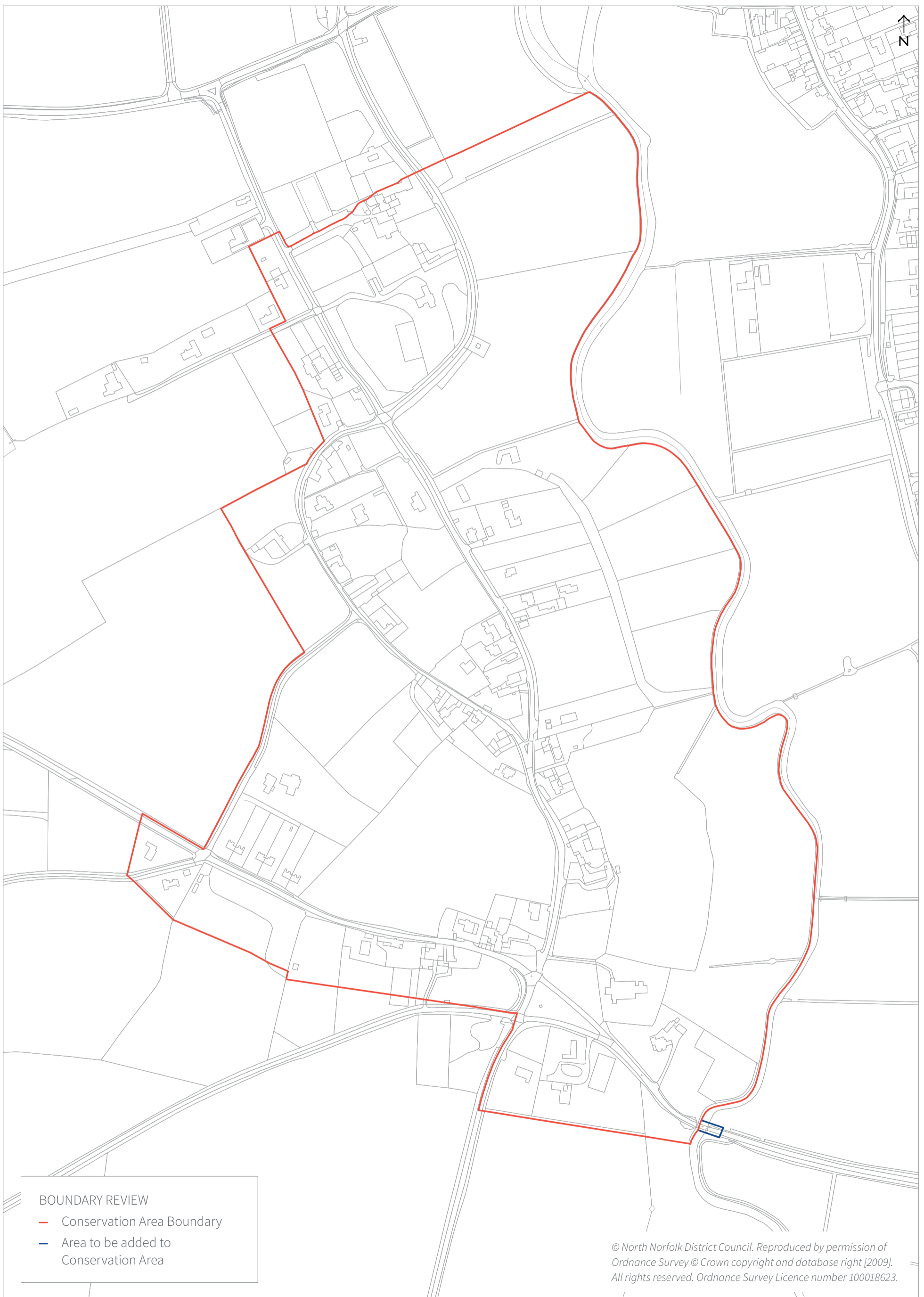
## HERITAGE ASSETS



## STREET-BY-STREET



## BOUNDARY REVIEW





# DRAFT

## Contact Us

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## North Norfolk District Council

Council Offices  
Holt Road  
Cromer  
NR27 9EN

## Name Surname

e: [someone@nndc.com](mailto:someone@nndc.com)

t: 01263 513811

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